



city of
Ankeny

bringing it all together

WELCOME

ANKENY AREA CONTRACTORS

Thank you for being here
today!

CITY OF ANKENY PLANNING & BUILDING PERSONNEL

- Carmen Santee, Permits Clerk
- Amy Daughenbaugh, Permits Clerk
- Kathy Dozler, Permits Specialist
- Eric Clark, Combination Inspector I
- Michael Villamagna, Combination Inspector I
- Craig Larsen, Combination Inspector II
- Jerry Agan, Combination Inspector III
- John Cabeen, Code Enforcement Officer II
- Jeff Junker, Building & Zoning Administrator
- Eric Carstens, Planning Administrator
- Emily Bodeker, Planner I
- Julie Gould, Associate Planner
- Deb Gervais, Associate Planner
- Eric Jensen, Director of Planning & Building

CITY OF ANKENY DEVELOPMENT ENGINEERING and STORM WATER PERSONNEL

- Dennis Neff, Civil Engineering Technician
- Samantha Hayden, Civil Engineer II
- Don Clark, Civil Engineer II
- Jared Bright, Storm Water Coordinator
- Dalton Jacobus, Engineering Technician I

Permits and the Building Dept Staff

- Total number of Permits Issued in 2015 – **2,240**
 - **1,055** New dwelling units

Current Staff:

Building and Zoning Administrator

Code Enforcement Officer

Four Combination Inspectors

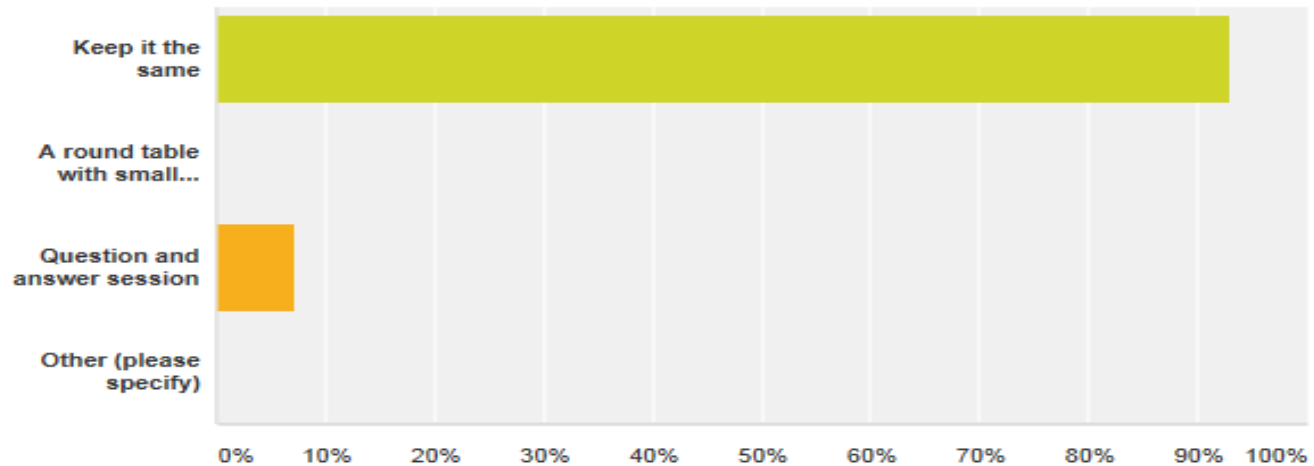
Two Permit Clerks and One Permit Specialist

Survey Results

Q1

What type of format would you prefer for our annual contractor's meeting?

Answered: 14 Skipped: 0



Answer Choices	Responses	
Keep it the same	92.86%	13
A round table with small groups for discussion	0.00%	0
Question and answer session	7.14%	1
Other (please specify)	0.00%	0
Responses		
Total		14

Survey Results

Q2

Do you have any specific questions or topics you would like covered at the meeting?

Answered: 8 Skipped: 6

no

2/23/2016 12:34 PM

Winter CO policy. Exteriors can be completed before winter and inspected by engineering or whoever does that. House inside may not be done but getting close. This should not need energy to inspect.

2/18/2016 7:53 PM

Any changes in expectations by the city for builders.

2/18/2016 6:27 PM

Callbacks

2/18/2016 6:11 PM

No

2/18/2016 6:02 PM

No

2/18/2016 5:36 PM

Energy code changes

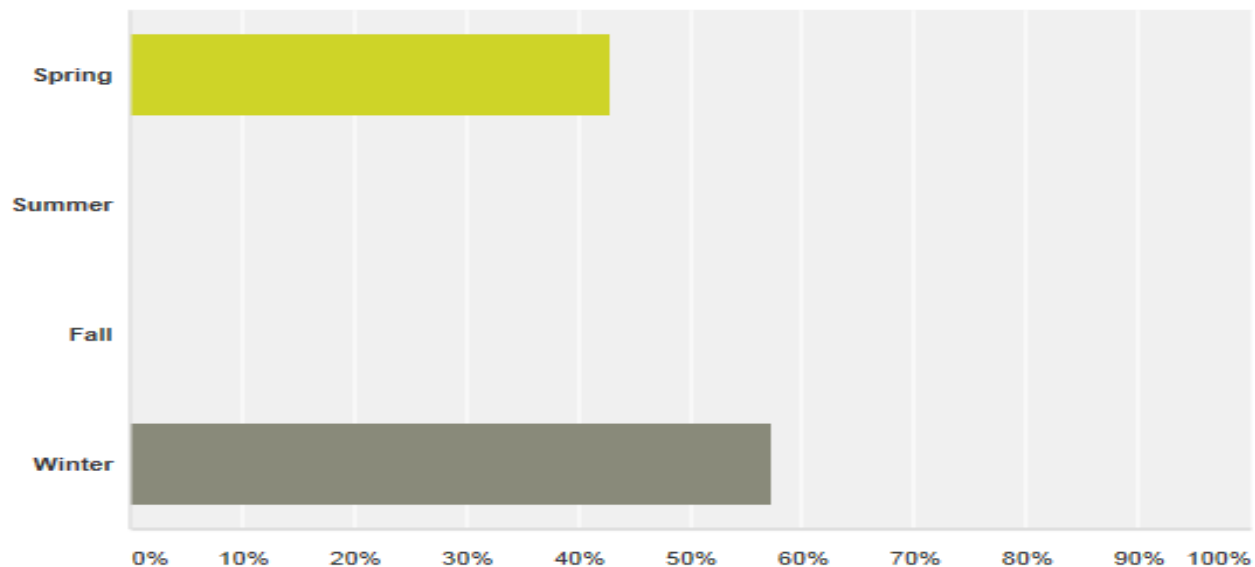
2/18/2016 5:24 PM

Survey Results

Q3

What time of year would you prefer the meeting be held?

Answered: 14 Skipped: 0



Answer Choices	Responses	
Spring	42.86%	6
Summer	0.00%	0
Fall	0.00%	0
Winter	57.14%	8
Total		14

PERMIT FEE SCHEDULE

- Building permit fees will be increasing on July 1, 2016, based on the February ICC Building Valuation Data - anticipate annual update of ICC BVD and review of fee table
 - The February 2016 BVD is not yet available

SINGLE FAMILY PERMIT FEE

(example from 2015)

- Single family ranch style dwelling
 - 2,000 square foot main floor
 - 1,000 square foot finished basement
 - 1,000 square foot unfinished basement
 - 720 square foot attached garage

Current dwelling valuation - \$296,022

Current building permit fee - \$1,466

July 1, 2015 valuation - \$301,498

July 1, 2015 building permit fee – \$1,485

Difference – \$19

PERMIT FEE SCHEDULE

- **All** Temporary Certificates of Occupancy will incur a fee of \$50
- *Payment is required prior to issuance of any Temporary Certificate of Occupancy.*
- *Construction must be complete before calling for a final inspection*

PERMIT FEE SCHEDULE

- Re-inspections (more than one – same project/items) will incur a fee of \$50 per re-inspect
- *Payment is required prior to any additional inspections.*
 - Re-inspection requests for framing and/or final inspections will not be accepted when requesting the initial framing or final inspection.

PERMIT HOLDERS YOU ARE RESPONSIBLE FOR YOUR PROJECTS

- **175.13 SUBSECTIONS 105.6.1 AND R105.6.1 ADDITION - - REVOCATION OF PERMIT.** Subsections 105.6.1 Revocation of Permit, of the IBC and R105.6.1, Revocation of Permit, of the IRC, are hereby established by adding the following subsections:
-
- Subsections 105.6.1 and R105.6.1 Revocation of Permit It is the responsibility of the permit holder to schedule the required inspections and obtain final approval. **Failure to schedule the required inspections and receive approval** of work authorized by the permit before covering said work or at completion shall result in revocation of the permit and void any associated approvals granted by the City. This failure shall also equate to working without a permit in violation of City ordinance and no future permits shall be issued to any person or company who has outstanding violations of this code or any other laws or ordinances of the City. **Failure to contact the City for any inspection or follow-up prior to expiration of a permit** shall be deemed a violation of this code section. **Failure to contact the City for any inspection or follow-up prior to expiration of a Temporary Certificate of Occupancy** shall also be deemed a violation of this code section. **Allowing occupancy of a structure**, for which a person or company holds a building permit, prior to or **without a valid Certificate of Occupancy (temporary or final) shall be deemed a violation of this code section and no future permits shall be issued to any person or company who has outstanding violations of this code or any other laws or ordinances of the City.**

PERMIT HOLDERS YOU ARE RESPONSIBLE FOR YOUR PROJECTS

- **175.13 SUBSECTIONS 105.6.1 AND R105.6.1 ADDITION - - REVOCATION OF PERMIT.**

Subsections 105.6.1 Revocation of Permit, of the IBC and R105.6.1,

- If you have projects on a Temporary Certificate of Occupancy have them completed and call for a final inspection before May 31st of this year -or- before the expiration date, whichever is applicable!
- Expired Temporary Certificates of Occupancy are grounds for no more permits to be issued.

ANKENY/METRO CODES

ANTICIPATE Summer, 2016

- Ankeny Municipal Code
- 2015 International Residential Code
- 2015 International Building Code
- 2015 International Existing Building Code
- 2015 International Fire Code
- 2015 International Mechanical Code
- 2015 Plumbing Code
- 2015 International Fuel Gas Code
- 2015 International Energy Conservation Code
- 2015 International Property Maintenance Code
- 2015 International Swimming Pool & Spa Code
- 2014 National Electric Code

ONGOING ISSUES

PERMIT SUBMITTAL and
APPROVAL RELATED

Permit Application Approval

IF **ALL** required information submitted is **COMPLETE** and **ACCURATE**

-expect-

A **MINIMUM** of 5 FULL WORKING DAYS FOR REVIEW AND APPROVAL

-anticipate-

MORE than 5 FULL WORKING DAYS FOR REVIEW AND APPROVAL

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Residential Building Application
New Dwelling Unit

Project Address: _____

Legal description: _____ Zoning: _____

Applicant is: ☐ Property Owner ☐ Contractor ☐ Architect ☐ Engineer ☐ Other _____

Applicant _____ E-mail _____

Address _____ Phone # _____

Contractor _____ E-mail _____

Address _____ Phone # _____

☐ Single Family Detached ☐ Duplex ☐ Single Family Attached # of units: _____ ☐ Multi-Family # of units: _____

☐ Townhomes ☐ Condominiums ☐ Apartments ☐ Owner Occupied ☐ Rental

Lot Sq Ft: _____ # of Stories: _____ 1st Floor Sq Ft: _____ 2nd Floor Sq Ft: _____ 3rd Floor Sq Ft: _____

Basement-Unfinished Sq Ft: _____ Basement-Finished Sq Ft: _____ Walkout: Yes -or- No

Garage Sq Ft: _____ Covered Porch/Stoop/Deck Sq Ft: _____ Open Deck Sq Ft: _____

Multi-Family Parking: Total # of Stalls: _____ Handicapped # Stalls: _____

Setbacks (actual): Front _____ Left Side _____ Right Side _____ Rear _____

Is this property in a flood plain? ☐ No ☐ Yes Minimum Elevation: _____

Architectural Review Board (ARB) approval required? ☐ No ☐ Yes ARB Case # _____

Attachments: ☐ Site Drawing ☐ Footing/Foundation Drawing ☐ Wall Section Showing Components ☐ Floor Plan

☐ Energy Code Review (MEC, RES) ☐ Flood Plain Permit (if required) ☐ Septic Permit (if required) ☐ COSECO/SWPPP

☐ Y ☐ N Are perimeter erosion control measures in-place at this time? (if no, please call to request inspection when installed)

Plumbing Contractor: _____

Electrical Contractor: _____

Mechanical Contractor: _____

Easements (for office use only): _____

Notice: Separate permits are required for electrical, plumbing, heating, ventilation or air conditioning. This permit expires 12 months from the date of issuance. The undersigned warrants that he/she has reviewed and is familiar with the provisions of the building and fire codes; as set forth under Chapters 175 and 180 of the Municipal Code of the City and all applicable zoning standards and will defend, indemnify, protect and save harmless the City and its employees from any and all liability, from any claim or cause of action which any person may have or claim to have by reason of any actual or alleged failure on the part of the undersigned to comply with the terms and provision thereof. I hereby certify that I have read and examined this application and its attachments and know the same to be complete, true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I agree to adhere to the plans as submitted and approved by the Architectural Review Board and City Staff and will provide notification of any change prior to construction. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. **My signature below verifies that I understand the above and that perimeter erosion control measures are now in place -or- I will request an inspection when installed, as indicated above.**

Signature of Applicant: _____ Date: _____

ALLOW A MINIMUM OF 5 FULL WORKING DAYS FOR PERMIT REVIEW AND APPROVAL

Date received _____	Permit Fee \$ _____	Office Use Only
Approval Notification Date _____	Valuation \$ _____	

Erosion Control Measures

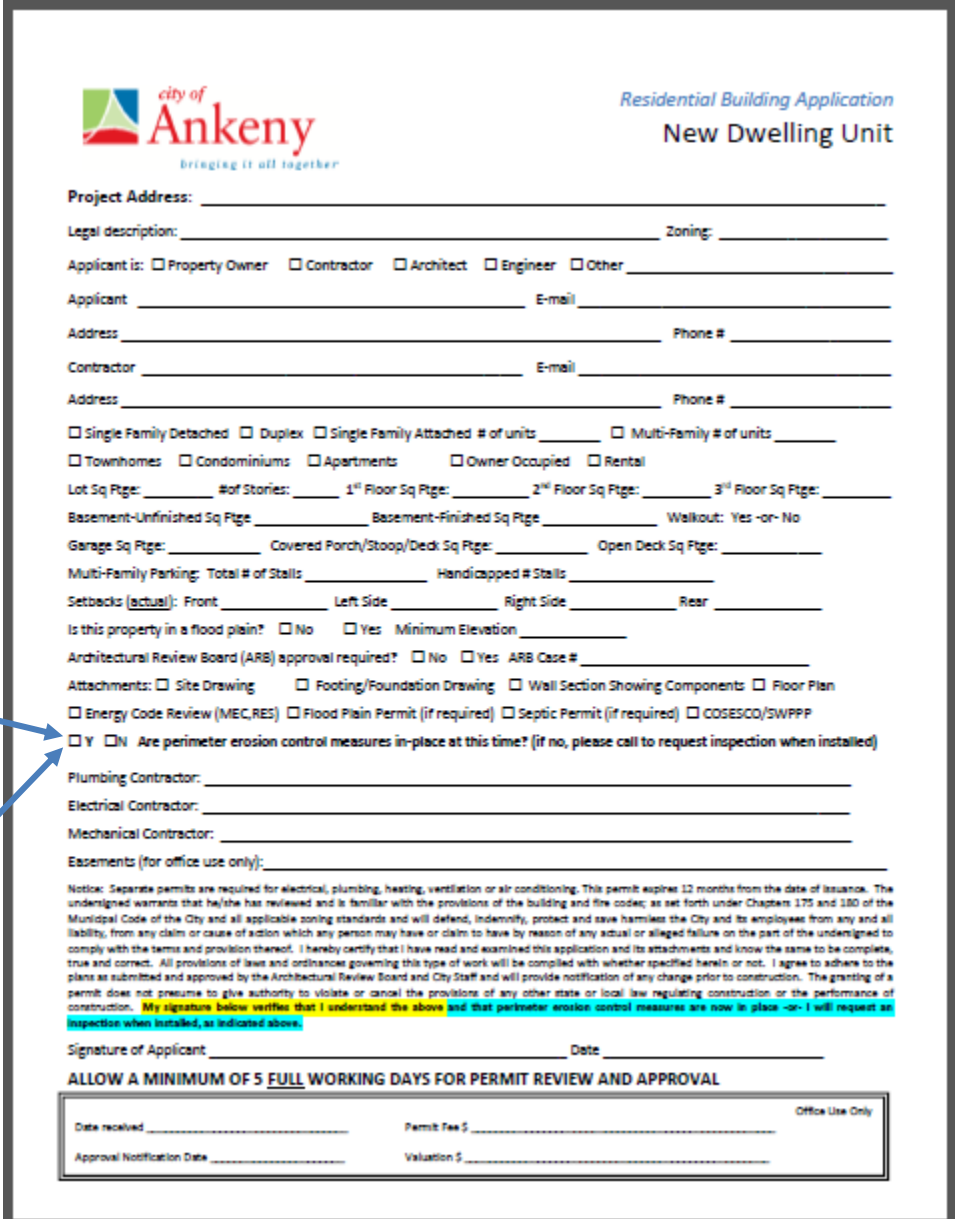
Erosion control measures must be in place before any disturbance and before a permit will be approved.

Have erosion control measures in place when you drop off your app and we'll take it from there.

-Or-

Call to schedule an erosion control inspection when they are installed.

You must have your application submitted prior to any erosion control inspection or inspection request.



The image shows a 'Residential Building Application' form from the City of Ankeny. The form is titled 'New Dwelling Unit' and includes various fields for project information, applicant details, and property specifications. Two blue arrows point from the text 'Call to schedule an erosion control inspection when they are installed.' to the 'Plumbing Contractor' and 'Electrical Contractor' fields. A third blue arrow points from the text 'You must have your application submitted prior to any erosion control inspection or inspection request.' to the 'Signature of Applicant' field. The form also includes a section for 'Attachments' and a 'Notice' section at the bottom.

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Residential Building Application
New Dwelling Unit

Project Address: _____

Legal description: _____ Zoning: _____

Applicant is: ☐ Property Owner ☐ Contractor ☐ Architect ☐ Engineer ☐ Other _____

Applicant _____ E-mail _____

Address _____ Phone # _____

Contractor _____ E-mail _____

Address _____ Phone # _____

☐ Single Family Detached ☐ Duplex ☐ Single Family Attached # of units _____ ☐ Multi-Family # of units _____

☐ Townhomes ☐ Condominiums ☐ Apartments ☐ Owner Occupied ☐ Rental

Lot Sq Ft: _____ # of Stories: _____ 1st Floor Sq Ft: _____ 2nd Floor Sq Ft: _____ 3rd Floor Sq Ft: _____

Basement-Unfinished Sq Ft: _____ Basement-Finished Sq Ft: _____ Walkout: Yes -or- No

Garage Sq Ft: _____ Covered Porch/Stoop/Deck Sq Ft: _____ Open Deck Sq Ft: _____

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Mechanical Contractor: _____

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Date received _____	Permit Fee \$ _____	Office Use Only
Approval Notification Date _____	Valuation \$ _____	

Erosion Control Measures

If you do not have erosion control measures in place when you drop off your permit application submittal

IT IS YOUR RESPONSIBILITY TO CALL FOR THE INSPECTION WHEN THEY ARE INSTALLED!!!!!!!!!!!!

 *city of Ankeny*
bringing it all together

Residential Building Application
New Dwelling Unit

Project Address: _____

Legal description: _____ Zoning: _____

Applicant is: ☐ Property Owner ☐ Contractor ☐ Architect ☐ Engineer ☐ Other _____

Applicant _____ E-mail _____

Address _____ Phone # _____

Contractor _____ E-mail _____

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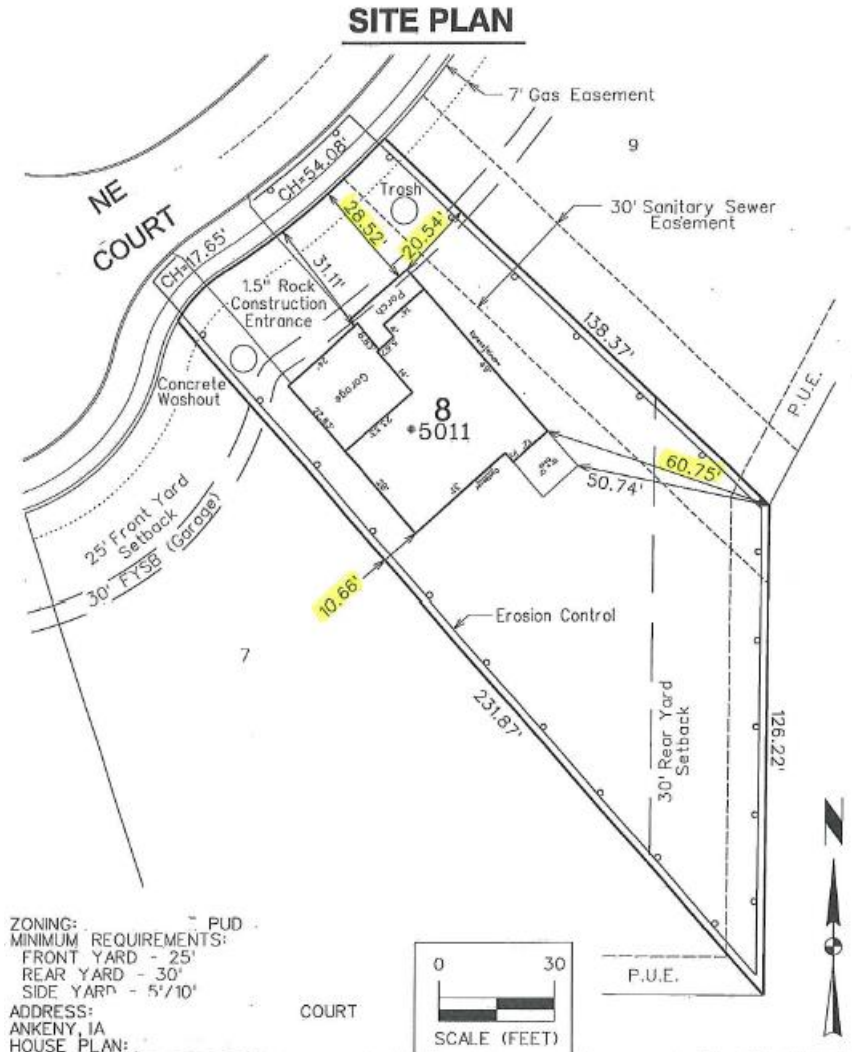
ALLOW A MINIMUM OF 5 FULL WORKING DAYS FOR PERMIT REVIEW AND APPROVAL

Date received _____	Permit Fee \$ _____	Office Use Only
Approval Notification Date _____	Valuation \$ _____	

SFD Site Plans

- In addition please anticipate including the following:
 - water main valve boxes
 - manholes
 - Intakes
 - sidewalk - dimension from back of curb
 - sidewalk width
 - Trail width (as applicable)
 - Topography

The more complete and accurate your site plans are, the less opportunity for error.



Driveways

SUDAS establishes the width and construction of driveways.

Typical single family dwelling lots driveways are limited to a maximum width at the sidewalk of 24'.

Note: some PUD's/plats may have different and specific requirements.



Common Email Address

- For electronic submission of documents, rather than forwarding to an individual, use the following account:
- energyinfo@ankenyiowa.gov
- For energy audits, duct layouts, equipment sizing etc.
- Do not send directly to City staff unless specifically requested!

ONGOING ISSUES

**INSPECTION SCHEDULING
RELATED**

Field Activities

- WITHOUT AT LEAST A 24 HOUR INSPECTION REQUEST NOTICE WE CANNOT GUARANTEE ANY INSPECTIONS AT YOUR CONVENIENCE!
- **48 HOUR (two working days) MINIMUM NOTICE IS REQUIRED FOR ALL FRAMING AND FINAL INSPECTIONS!**
- City staff will coordinate ALL inspection timing!
- All inspection requests must be made through the inspection request desk @ 963-3533!

Field Activities

- WITHOUT AT LEAST A 24 or 48 HOUR INSPECTION REQUEST NOTICE DEPENDING ON THE TYPE OF INSPECTION WE CANNOT GUARANTEE ANY INSPECTIONS AT YOUR CONVENIENCE!
 - Once an inspection is scheduled it may not be switched to another address or time slot during the same day.
 - Switching times or addresses of previously scheduled inspections will require re-scheduling for a future point in time and no less than 24 or 48 hours thereafter.
 - Coordinate your inspection activities and plan ahead accordingly.

Inspections For Certificates of Occupancy

- Inspections and review occur by many Divisions' and Departments' personnel.
- **Same day final inspections and closings do not afford adequate time to address deficiencies and subsequent corrections nor adequate time for issuance of Certificates of Occupancy.**
- Plan ahead to allow time for adequate preparation. **A MINIMUM OF 48 HOURS (TWO WORKING DAYS) IS REQUIRED FOR FINAL INSPECTION SCHEDULING REQUESTS!**

Final Inspections – Building Division Related

- Prior to calling for final inspection
 - Confirm all work is complete and documentation is provided
 - Building
 - Plumbing
 - Electrical
 - Mechanical
 - Energy Compliance Certificate From HERS Rater
 - MPE #2 Documentation as applicable
 - FEMA As-Built Documentation as applicable
 - Water meter set

Final Inspections – Development Engineering Division Related

- Prior to calling for final inspection
 - Confirm all work is complete
 - Site grading, sod and landscaping
 - Established vegetation
 - Drainage Swales
 - Sidewalks and driveways
 - Confirm infrastructure is intact and working
 - Curb boxes, cleanouts, manholes etc
 - Infrastructure needing repair will hold up your Final C.O.
 - Development Engineering finals may be approved prior to building finals - - email Jared Bright or Dalton Jacobus to schedule

Final Inspections – Planning Division Related

- Prior to calling for final inspection
 - Confirm all work is complete
 - Berms
 - Landscaping
 - Trees
 - Shrubs
 - Typically these requirements exist in PUD's and/or along major streets
- Please make the call before you request a final inspection if you are unsure or have questions.

Final Inspections and Final Certificates of Occupancy

A Final Certificate of Occupancy may be issued upon confirmation that all construction and zoning codes are compliant including trees and landscaping, infrastructure elements are approved, lot is fully stabilized and erosion control features are removed.

- All items must be complete
 - Building
 - Development Engineering
 - Planning
 - Stormwater

Final Inspections and Temporary Certificates of Occupancy

Temporary Certificate of Occupancy (\$50)

- A temporary Certificate of Occupancy is valid for **no more than twenty one days** except during winter months.
- **Other than Winter-build**
 - A temporary Certificate of Occupancy may be offered only if all construction is complete, zoning codes are compliant including trees and landscaping, and all erosion control measures are compliant and maintained in-place.

Trees, shrubs, berms and other required landscape features are required to be installed at the time of final inspection. - - **NO TEMP CO's WILL BE ISSUED WITHOUT REQUIRED LANDSCAPING INSTALLED**

Certificate of Occupancy

- Required prior to occupancy
 - Please allow time for the final inspection and any corrections to be made and re-inspected and confirmed and the C.O. to be processed.
 - Occupancy without a valid Certificate of Occupancy is grounds for no more permits to be issued.
 - **Do not expect same day C.O. issuance.**

ONGOING FIELD ISSUES

**BUILDING/CONSTRUCTION
RELATED**

YOUR HELP IS NEEDED

- Site Activity

-Trash -

- Maintain
Your Sites

02 19 2016

Address Posting

- Multiple lots and developments starting construction make it difficult to confirm addressing.
- Post address near the street of a size large enough to be readily visible from the street. Maintain the posted address.
- At the time of building permit application submittal – address posting must be installed.
- Without a posted address an inspection will not be conducted.

4904

SFD Landings Outside

Other Than Front Doors

There shall be a floor or landing on each side of a door not more than 7 $\frac{3}{4}$ inches below the top of threshold.

Exception – two or fewer risers on the exterior side of the door, provided the door does not swing over the stairway.

Stair rise and run rules apply
Handrail and guardrail rules apply

March 9, 2016



Exterior Doors Landing Required

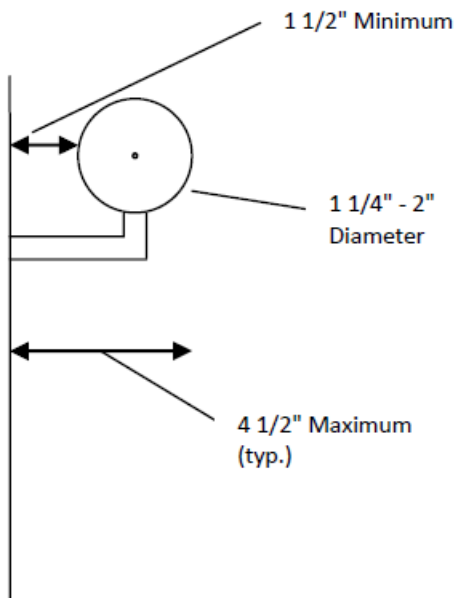


Minimum 3' Least Dimension
In the Direction of Travel

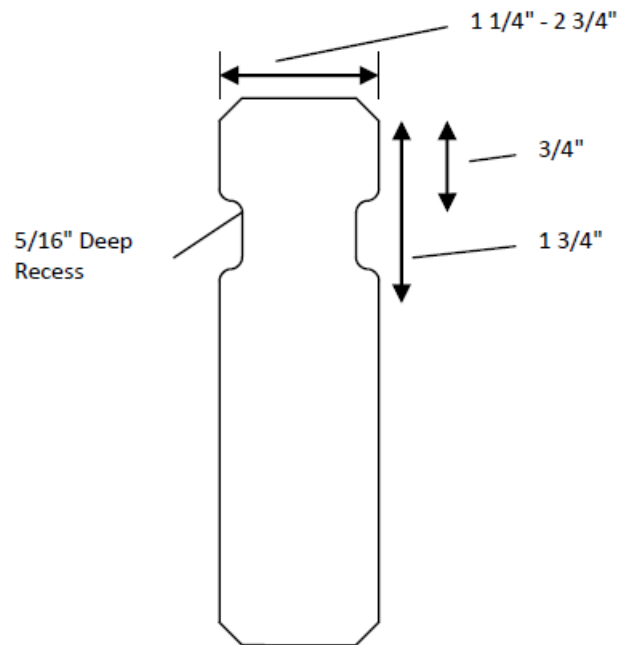
Deck Handrails



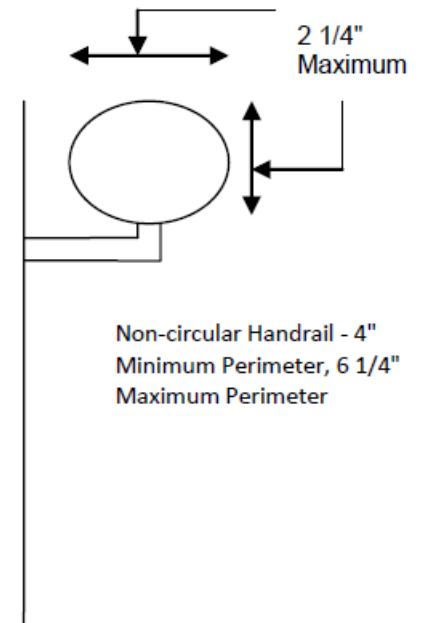
Deck Handrails



Circular Handrail



Other Shapes



Non-circular Handrail

Allowed Shapes

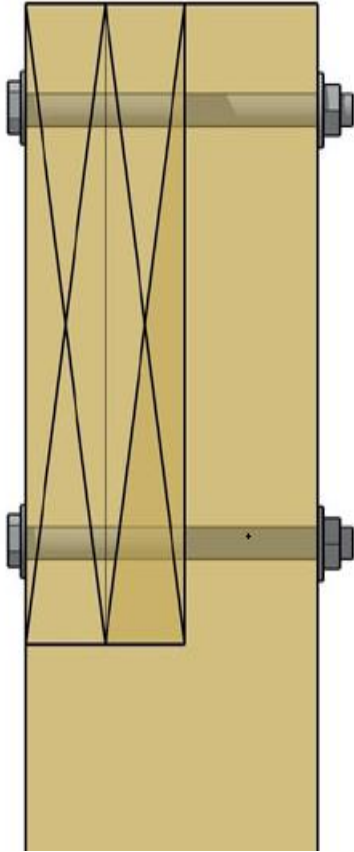
Screen Porch Guards

R312.1.1 Where required.

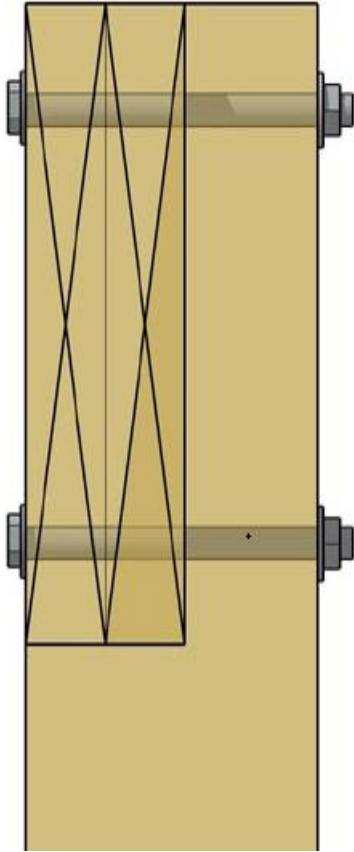
- Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.



Decks – Beam to Post Connections



Decks – Beam to Post Connections

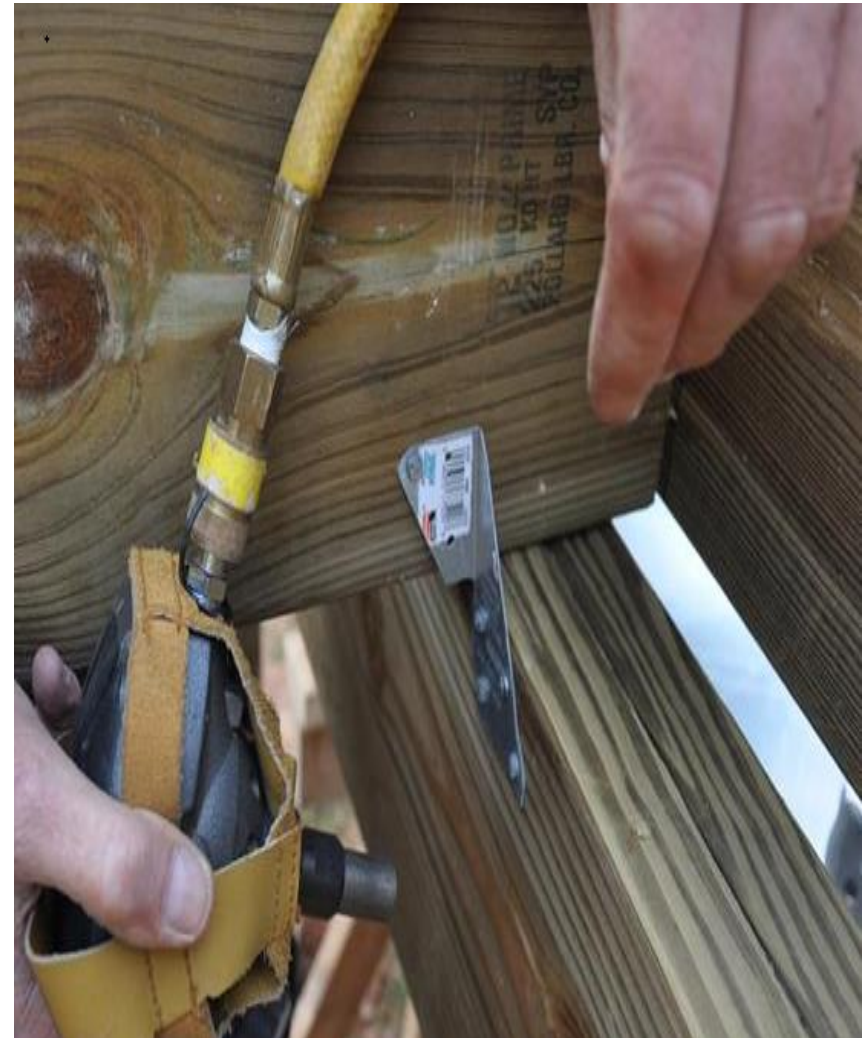


Decks – Joist to Beam Connections

Toenailing is allowed by code –

Minimum 3-8d common

Fasteners must be of approved corrosion resistant materials and shall be of hot-dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper



Ledger Attachment Over Siding

Ledger **may not be** directly applied over any type of siding.



Foundation Elevation and Grading



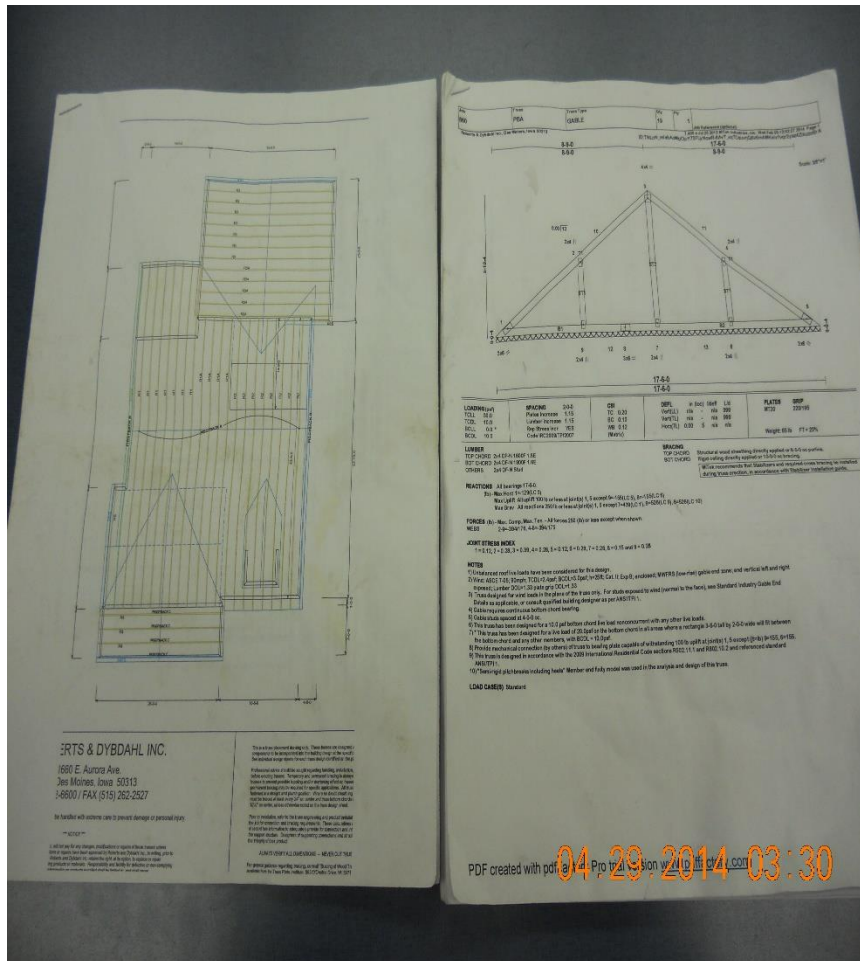
Provide Minimum 6" Exposed
Foundation

Foundation Elevation and Grading



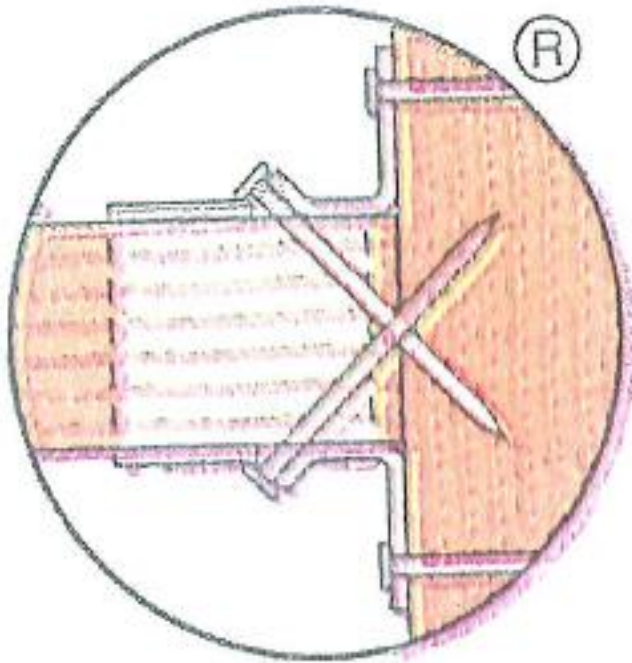
Grade Away From Structures
Minimum 6 inches in 10 feet

Manufactured Floor and Roof Trusses



- Provide on site at time of framing inspection whether or not electronic or hard copies were provided with permit submittal.

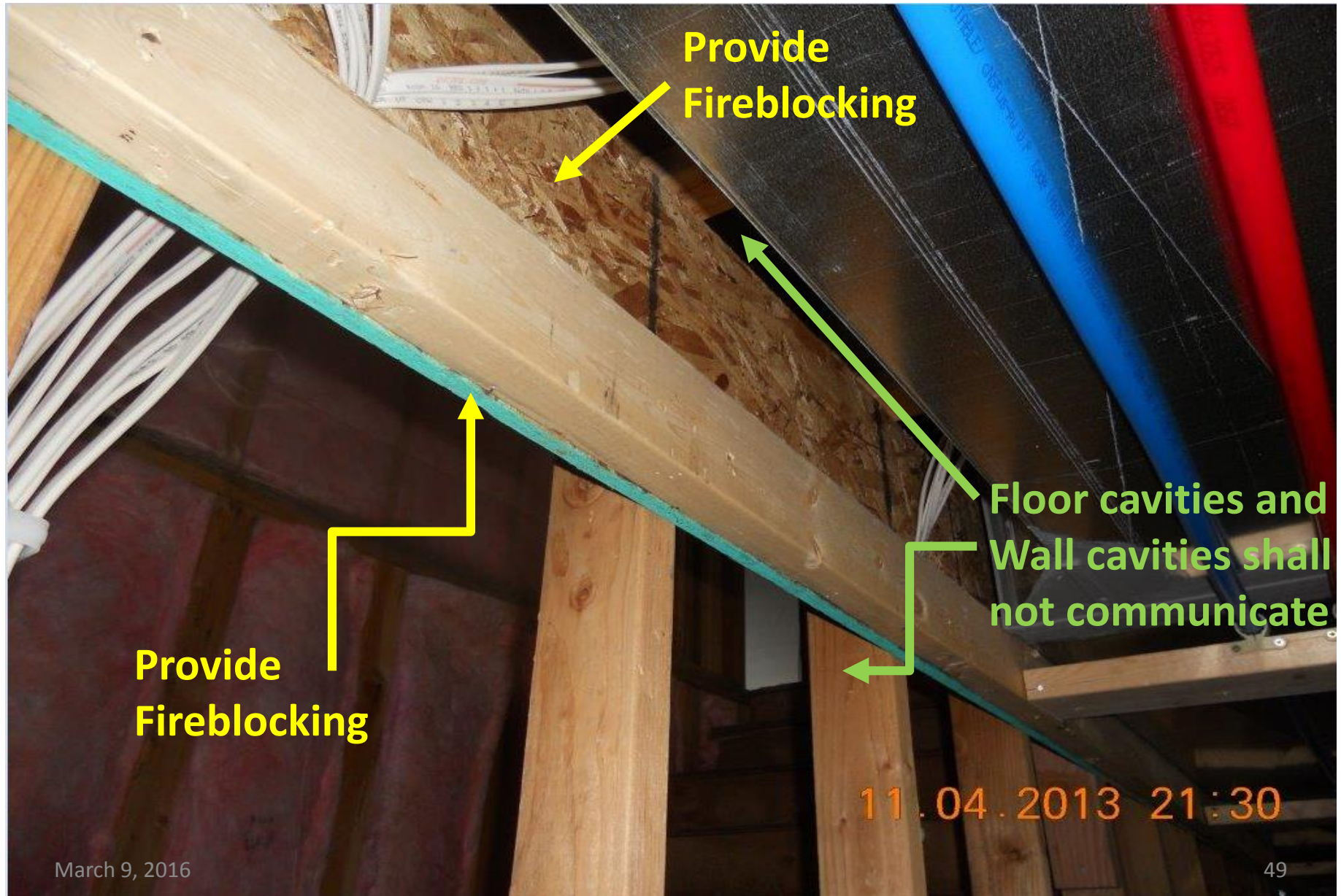
Hanger Anchorage



Double Shear
Nailing (*Top View*)

- Use appropriate nails for the application.
- Install according to the manufacturer/hanger manufacturers' listing.

Fireblocking



ONGOING FIELD ISSUES

Development Engineering
Related

Final Inspections – Development Engineering Division Related

Whenever questionable infrastructure elements are encountered –

please call
Development
Engineering
before you
proceed

- Handicap ramps do not line up with sidewalk location
- Fire hydrant is in the way of the sidewalk location
- Manholes or water main valve boxes land in sidewalks or driveways and require adjustment

ONGOING FIELD ISSUES

STORM WATER RELATED

Email

Jared Bright

-or-

Dalton Jacobus

CICC

Central

Iowa

Code

Consortium

Consistency

In

Code

Correlation

CICC

Codes' Review

- National Electric Code
- International Energy Conservation Code
- International Fire Code
- International Building Code
- International Existing Building Code
- International Residential Code
- International Mechanical Code
- International/Uniform Plumbing Code
- International Fuel Gas Code
- International Swimming Pool and Spa Code
- International Property Maintenance Code

CICC

Significant Residential Amendments

1. Automatic Sprinkler Thresholds

A. 1 & 2 Family Homes 8,000 sq. ft of floor space, finished or unfinished

B. Townhomes – 18,000 sq. ft. of floor space, finished or unfinished, or 8 attached units.

2. Floor protection – The underside of all floors will be protected with ½” sheetrock or comparable protection. 80 sq. ft. exception

CICC

Codes' Review Committees

- Each code review committee is made up of four governmental members and three representing industry;
- These committees are represented by the following professionals depending on the code:
 - Code Official, Code Administrator, Plans Reviewer, Code Inspector
 - Licensed/Registered Designer
 - Trades' Master Licensee
 - Trades' Licensed Designer
 - Energy Raters and Designers

CICC

Code Review Committees

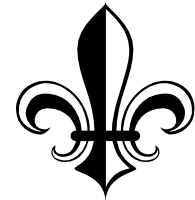
- **Electrical (NEC)/Energy Codes (IECC)** -provides technical expertise and support on electrical matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted electrical code and standards and CICC amendments. Provides technical expertise and support on energy conservation matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted energy conservation codes and standards and CICC amendments.
- **Fire Code (IFC)** –provides technical expertise and support on fire and life safety matters as they relate to the adoption, enforcement, application and interpretation of the fire and life safety provisions of the adopted fire codes and standards and CICC amendments.
- **International Building Code (IBC)/International Existing Building Code (IEBC)** -provides technical expertise and support on commercial construction as they relate to the adoption, enforcement, application and interpretation of commercial construction code and standards and CICC amendments
- **International Residential Code (IRC)** -provides technical expertise and support on residential construction matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted residential construction code and standards and CICC amendments.
- **Mechanical (IMC)/Plumbing (UPC or IPC)/Fuel Gas Codes(IFGC)** –provides technical expertise and support on mechanical, plumbing and fuel gas matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted mechanical, plumbing and fuel gas codes and standards and CICC amendments.
- **Pool & Spa (ISPSC)/Property Maintenance (IPMC)** -provides technical expertise and support on residential swimming pool/spa construction matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted residential swimming pool/spa code and standards and CICC amendments. Also provides technical expertise and support on property maintenance matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted property maintenance code and standards and CICC amendments
- **Joint Fire/Building Committee** -provides technical expertise and support on matters that are shared sections in the fire and building codes as they relate to the adoption, enforcement, application and interpretation of the adopted building and fire codes and standards and CICC amendments.

CICC

Looking Ahead

- Tremendous Opportunity to Gain Consensus on Codes in Central Iowa
- CICC focuses on blending stakeholders
- Together we can institute positive change!

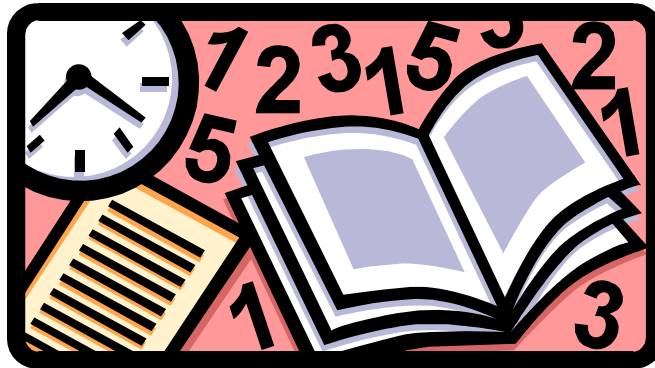
Cooperation, organization and
communication!



General contractors are responsible
for their projects and must
coordinate site and inspection
activities of all trades!

HELP US TO HELP YOU!

- Allow time for permit review, inspection scheduling, final inspections and C.O. Issuance!



HELP US TO HELP YOU!

- Be a good neighbor!
- Cooperation and organization are key elements!



Questions



In Closing

- Another construction season is again well underway.
- We hope this information, and in some cases gentle reminders, will help us keep things running smoothly.
- Please never hesitate to call - we are always more than happy to make ourselves available for discussion.

... and

*Thank you
for helping
build the
City of Ankeny*